

ZEME, LLC

STORAGE ADDITION

44 DARLINGTON AVENUE

WILMINGTON, NC

MAY, 2016



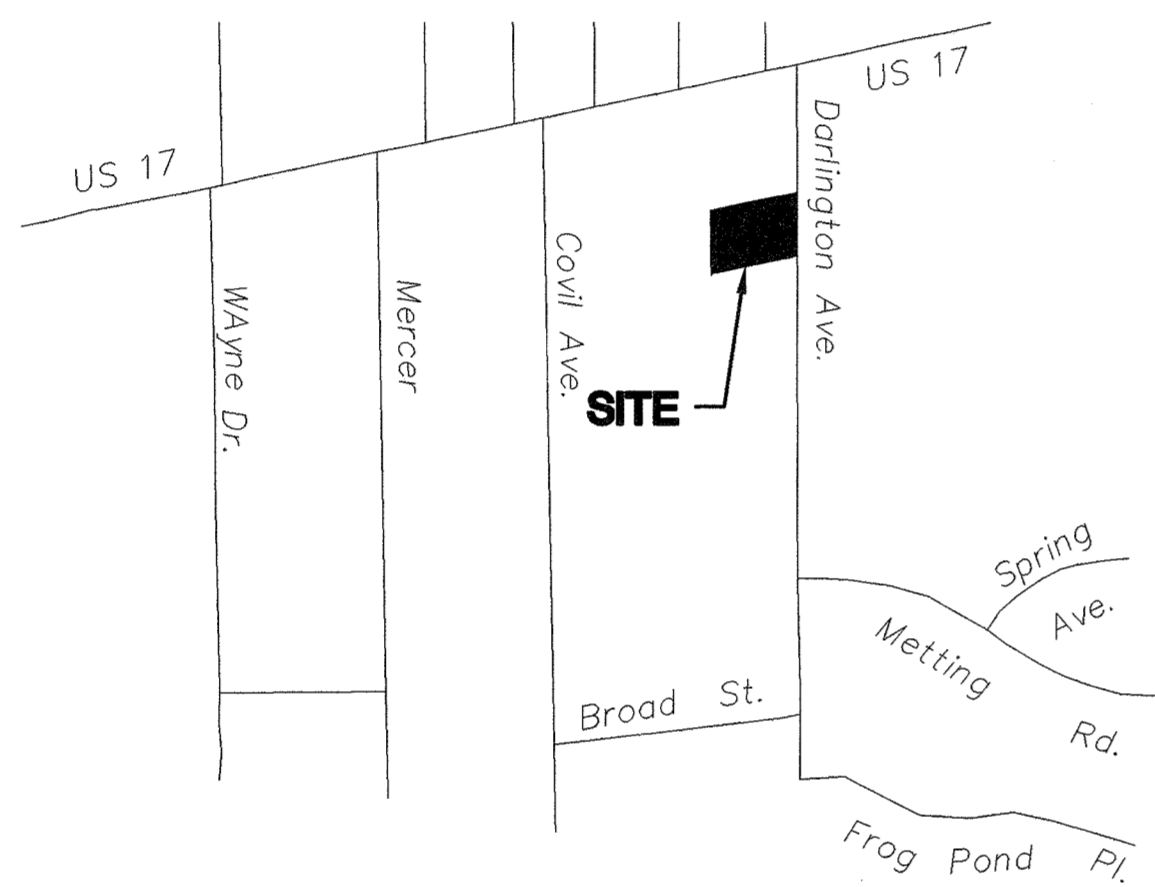
FOR EACH OPEN UTILITY CUT OF CITY STREETS, A \$325 PERMIT SHALL BE REQUIRED FROM THE CITY PRIOR TO OCCUPANCY AND / OR PROJECT ACCEPTANCE.

Public Services • Engineering Division
APPROVED DRAINAGE PLAN

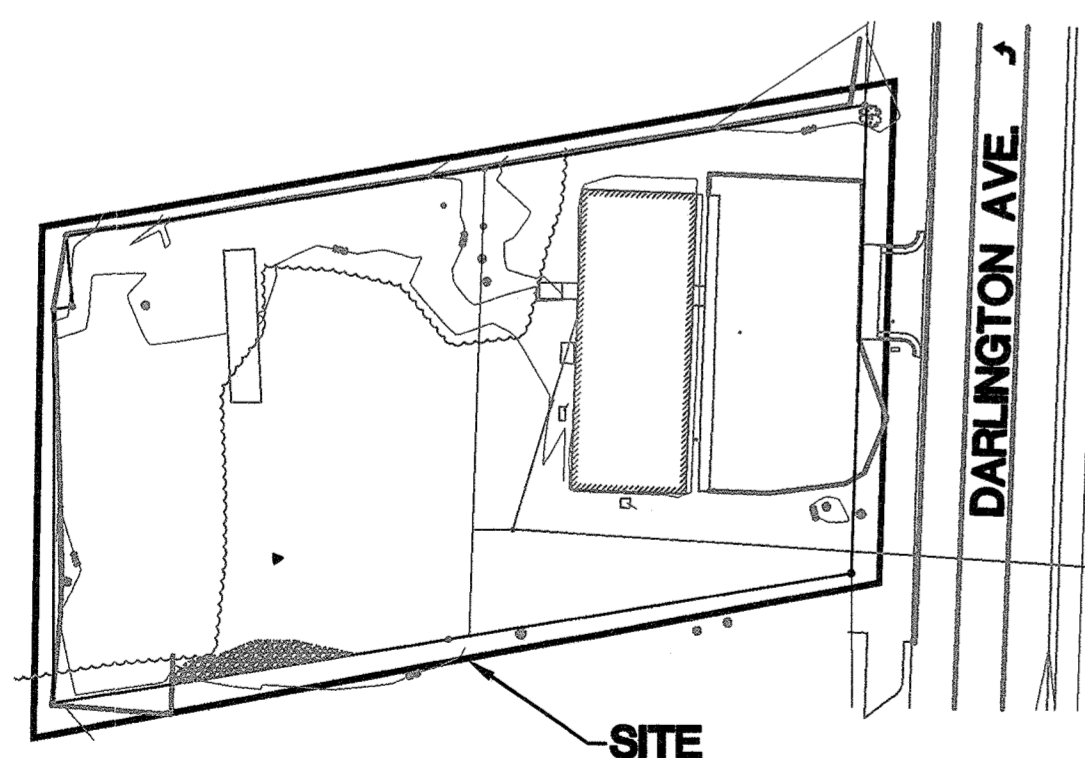
Date: _____ Permit # _____
Signed: _____

APPROVED CONSTRUCTION PLAN
NAME _____ DATE _____
PLANNING _____
TRAFFIC _____
FIRE _____

PRELIMINARY PLAN
ISSUED FOR AGENCY REVIEW



VICINITY MAP
NOT TO SCALE



EXISTING SITE MAP
NOT TO SCALE

NUMBER	TITLE
XX/XX/XX	- TITLE SHEET
XX/XX/XX	C-001 LEGEND, ABBREV., & GENERAL NOTES
XX/XX/XX	C-101 EXISTING CONDITIONS
XX/XX/XX	C-102 DEMOLITION & TREE REMOVAL PLAN
XX/XX/XX	C-201 ZONING COMPLIANCE PLAN
XX/XX/XX	C-241 SITE IMPROVEMENTS & GRADING PLAN
XX/XX/XX	D-101 STANDARD CITY DETAILS
XX/XX/XX	D-102 CIVIL / SITE DETAILS

SITE- DATA TABULATION

PARCEL ID#: 04917-004-016-000

ZONING: CS / O&I-1 (SPLIT ZONING/ NO ADJOINING RESIDENTIAL USES)

SETBACKS: CS	SETBACKS: O&I-1
FRONT - 35'	FRONT - 20'
SIDE - 7'	SIDE - 10'
REAR - 15'	REAR - 20'

MAX HEIGHT - 35' MAX HEIGHT - 45'

CAMA LAND CLASSIFICATION: URBAN

THE PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRM# 3720313700J; MAP EFFECTIVE DATE: APRIL 3, 2006.

EXISTING IMPERVIOUS AREA:
 BUILDINGS: 2,338 SF
 PARKING & DRIVES: 3,218 SF
 WALK & PADS: 316 SF

PROPOSED IMPERVIOUS AREA:
 BUILDINGS: 3,000 SF
 PARKING & DRIVE: 1,120 SF
 WALKS AND PADS: 425 SF

TOTAL = 10,417 SF

AREA OF SUBJECT PARCEL: 25,264 SF 0.58 AC. (PER SURVEY)

PROPOSED PERCENT IMPERVIOUS: 41.2 %

EXISTING BUILDING: 2,338 SF
 PROPOSED BUILDING: 3,000 SF

TOTAL = 5,338 SF

AREA OF SUBJECT PARCEL: 25,264 SF 0.58 AC. (PER SURVEY)

PROPOSED BUILDING COVERAGE: 21.1 %

PROPOSED USE: STORAGE

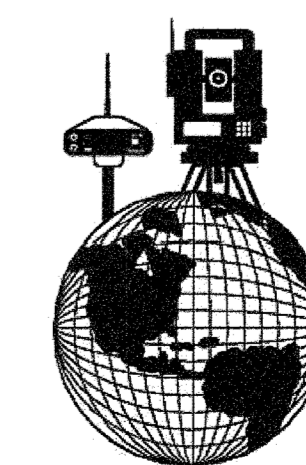
NUMBER OF PROPOSED BUILDINGS: 1 (1-STORY), +/- 18' HEIGHT

PARKING CALCULATIONS:
 EXISTING FACILITY = 2,354 SF @ 1 PER 400 SF GROSS FLOOR = 6 SPACES
 NEW WAREHOUSE = 3,000 SF @ 1 PER 1,000 SF GROSS FLOOR = 3 SPACES

PARKING REQUIRED: = 9 SPACES

PARKING PROVIDED:
 REGULAR - = 8 SPACES
 HANDICAPPED - = 1 SPACES
 TOTAL = 9 SPACES

WATER & SEWER BY EXISTING CONNECTIOS/ EXISTING BUILDING ONLY



GS&E

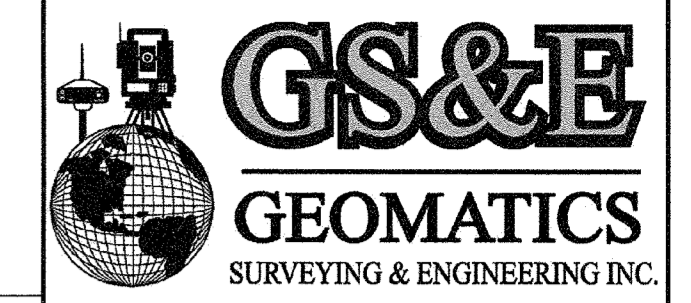
GEOMATICS

SURVEYING & ENGINEERING INC.
 PROFESSIONAL FIRM# C-3796
 PROJECT NUMBER 20 - 29

GENERAL NOTES

LEGEND

SITE CONDITIONS



POST OFFICE BOX 16110
 WILMINGTON, NC 28409
 910 - 742 - 3860
 PROFESSIONAL FIRM# C-3796

**44 DARLINGTON AVE
 STORAGE ADDITION**

**WILMINGTON
 NORTH CAROLINA**

PREPARED FOR:
**ZEME, LLC
 44 DARLINGTON AVE
 WILMINGTON, NC
 28403**

REVISIONS

NO.	DATE	OTS	DESCRIPTION

- PROJECT: 44 DARLINGTON AVENUE STORAGE ADDITION
 NEW HANOVER COUNTY, NC
 44 DARLINGTON AVENUE
 WILMINGTON, NC 28403
- OWNER: ZEME, LLC
 CONTACT: MS. TAMMY ARNOLD
 44 DARLINGTON AVENUE
 WILMINGTON, NC 28403
 910-264-3948
- CIVIL ENGINEER: GS&E, INC.
 CONTACT: COMER LYONS, PLS, PE
 PO BOX 16110
 WILMINGTON, NC 28408
 910-742-3860
- SURVEYOR: GS&E, INC.
 CONTACT: COMER LYONS, PLS, PE
 PO BOX 16110
 WILMINGTON, NC 28408
 910-742-3860
- PARCEL ID #: R04917-004-016-000.
- ACREAGE: DISTURBED AREA = APPROX. 6,000 SF
- PROJECT IS LOCATED IN NEW HANOVER COUNTY, NORTH CAROLINA. REFERENCE DEED BOOK 5326, PAGE 1319.
- ALL CONSTRUCTION MUST CONFORM WITH APPROVED LAND DEVELOPMENT PERMITS, LOCAL STATE AND FEDERAL LAW AND REQUIREMENTS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, LATEST EDITION.
- NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
- OFF-STREET PARKING SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- EXISTING AND ROUGH GRADING CONTOURS ARE AT ONE (1) FOOT INTERVALS BASED ON SURVEY PROVIDED BY GS&E, INC.
- RIGHT-OF-WAY ADJACENT TO THE PROJECT IS PUBLIC AND ONLY WORK REQUIRED TO COMPLETE PROPOSED IMPROVEMENTS IS AUTHORIZED WITHIN THE RIGHT-OF-WAY.
- ACCEPTANCE OF THESE PLANS BY THE CITY DOES NOT RELIEVE PERMIT HOLDER FROM MEETING REQUIREMENTS OF THE CITY OF WILMINGTON'S OFFICIAL CODE, SEDIMENTATION & EROSION CONTROL ORDINANCE, THE RULES AND REGULATIONS OF THE NEW HANOVER COUNTY HEALTH DEPARTMENT, THE US ARMY CORPS OF ENGINEERS AND ANY OTHER LOCAL, STATE, OR FEDERAL LAW OR REGULATION AS THEY RELATE TO DEVELOPMENT IN THE CITY OF WILMINGTON, NC.
- OWNER AGREES BY IMPLEMENTATION OF THESE PLANS THAT ALL LAND CLEARING, CONSTRUCTION, DEVELOPMENT AND DRAINAGE ACTIVITIES WILL BE DONE ACCORDING TO THESE ACCEPTED PLANS OR APPROVED REVISIONS. OWNER ACKNOWLEDGES THAT ACCEPTANCE OF THE PLANS BY THE CITY IN NO WAY RELIEVES OWNER OF RESPONSIBILITY NOT TO ADVERSELY IMPACT DOWNSTREAM PROPERTY REGARDING ANY LAND DISTURBING ACTIVITY, EROSION AND SEDIMENT CONTROL MEASURE AND/OR STORMWATER MANAGEMENT ACTIVITY DURING OR AFTER CONSTRUCTION. OWNER ACKNOWLEDGES THAT THE ACCEPTANCE OF THESE PLANS AND THE ISSUANCE OF ASSOCIATED DEVELOPMENT PERMITS DOES NOT, IN ANY WAY, SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING, HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY, IF ANY, TO OPERATE IN AN APPROPRIATE AND LEGAL MANNER. PLAN ACCEPTANCE OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, POLICIES, STANDARDS OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.
- ANY AND ALL LAND DISTURBANCE PERMITS MAY BE REVOKED AT ANY TIME IF THE CONSTRUCTION OF PROJECT IS NOT IN STRICT ACCORDANCE WITH ACCEPTED PLANS.
- IF ACTUAL SITE CONDITIONS VARY FROM ACCEPTED PLANS, IT IS THE OWNER/DEVELOPERS RESPONSIBILITY TO INFORM THE ENGINEER OF RECORD AND THE CITY ZONING ADMINISTRATOR FOR ASSESSMENT OF CONDITION. PROJECT CONSTRUCTION MAY BE DELAYED DURING ASSESSMENT PERIOD.
- ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF WILMINGTON OF ANY LAND DISTURBING ACTIVITY WITHIN WETLAND AREAS. IT IS THE OWNER'S RESPONSIBILITY TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR IS TO VERIFY LOCATION, DEPTH & PRESENCE OF ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. ALL PROPOSED WORK IS SUBJECT TO THE LOCATION AND PRESENCE OF EXISTING UTILITIES AND INFORMATION AS SHOWN ON THESE PLANS MAY NOT BE COMPLETE.
- THE SUBJECT SITE IS SHOWN TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM PANEL# 3129J, MAP# 3720312900J (MAP REVISED: APRIL 3, 2006).
- WHERE A NOTE IS SHOWN ON ANY INDIVIDUAL PLAN SHEET, THAT NOTE PERTAINS TO THE PLAN SET ON WHOLE.
- IF A CONTRADICTORY ITEM IS FOUND WITHIN THE PLAN SET, OR WHERE PLANS CONTRADICT GOVERNING AUTHORITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND AWAIT DIRECTION BEFORE PROCEEDING WITH WORK. WORK DONE BY CONTRACTOR IN CASES OF CONTRADICTION IS AT THE SOLE RISK OF THE CONTRACTOR.
- CONTRACTOR SHALL HAVE ALL ONSITE UTILITIES LOCATED PRIOR TO COMMENCEMENT OF WORK. FAILURE TO DO SO SHALL BE AT THE SOLE RISK OF CONTRACTOR.

	EXISTING	PROPOSED
ASPHALT	N/A	
BENCHMARK	⊕ BM	N/A
BUILDING RESTRICTION LINE	---BRL---	N/A
BUILDING		
CONCRETE		
CONTOUR, INTERMEDIATE	-----1001-----	-----1001-----
CONTOUR, MAIN	-----1000-----	-----1001-----
DEMOLITION: SITE	N/A	
DRAINAGE SWALE	-----	-----
STORM DRAINAGE		
EARTH		
OVERHEAD ELECTRICAL	-----	N/A
FENCE	-----X-----	-----X-----
FIRE HYDRANT		
FIRE WATER MAIN	-----FW-----	-----FW-----
HEADWALL		
MANHOLE/JUNCTION BOX		
MONUMENT FOUND	⊙ MNF	N/A
NAIL SET	⊙ NS	N/A
POWER POLE	⊙	
RIGHT OF WAY	-----	-----
SILT FENCE	N/A	
SPOT ELEVATION	⊙100.29	⊙26.0
STORM SEWER	=====	=====
TELEPHONE	-----T-----	-----T-----
SLOPE ARROW	N/A	-----
LIMITS OF CONSTRUCTION	N/A	-----

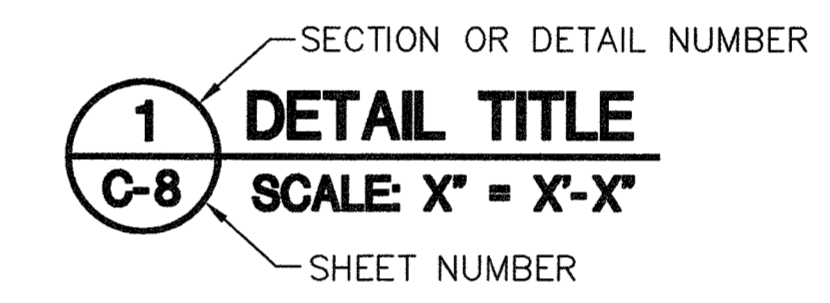
EXISTING CONDITIONS

ZEME, LLC CURRENTLY OPERATES A WEB-BASED SALES OPERATION AT 44 DARLINGTON AVENUE. THE FACILITY IS A BRICK VENEER STRUCTURE WITH ASPHALT PARKING AND AN IMPROVED, CONCRETE DRIVE TO DARLINGTON AVENUE. DRAINAGE GENERALLY SHEET FLOWS TO NEIGHBORING PROPERTIES AND TO THE STREET. THE SITE HAS SOME MATURE TREES AND SOME SCRUBBY UNDERBRUSH.

PROPOSED CONDITIONS

THE PURPOSE OF THIS PROJECT IS TO ADD A 3,000 SQUARE FOOT STORAGE ADDITION TO THE REAR OF THE EXISTING STRUCTURE. THIS BUILDING WILL BE STANDALONE, PRE-FABRICATED METAL CONSTRUCTION ON A CONCRETE SLAB WITH ASSOCIATED CONCRETE APPROACH. THE NEW BUILDING WILL HAVE NO OFFICE AREAS AND NO PLUMBING. DRAINAGE IS TO BE DIRECTED FROM ROOF LEADERS TO THE EXISTING DRAINAGE PATTERNS IN COMPLIANCE WITH CITY STORMWATER REQUIREMENTS.

DETAIL IDENTIFICATION



ABBREVIATIONS

AGGR	AGGREGATE	IN	INCHES
ASPH	ASPHALT	IPF	IRON PIN FOUND
B & S	BELL & SPIGOT	IPS	IRON PIN SET
BLDG	BUILDING LINE	IRRIG	IRRIGATION
BLDG	BUILDING	JB	JUNCTION BOX
CB	CATCH BASIN	LF	LINEAR FEET
CL	CENTERLINE	LP	LIGHT POLE
CF	CUBIC FEET	MIN	MINIMUM
CO	CLEAN OUT	MH	MANHOLE
CONC	CONCRETE	N/A	NOT APPLICABLE
CMP	CORRUGATED METAL PIPE	NIC	NOT IN CONTRACT
DIA	DIAMETER	NTS	NOT TO SCALE
DI	DROP INLET	OC	ON CENTER
DIP	DUCTILE IRON PIPE	O.D.	OUTSIDE DIAMETER
DRVWY	DRIVEWAY	O.F.	OVER FLOW
E	ELECTRICAL	PKNG	PARKING
EMER	EMERGENCY	PIV	POST INDICATOR VALVE
EOP	EDGE OF PAVEMENT	PVC	POLY VINYL CHLORIDE
ELEV	ELEVATION	R	RADIUS
EQUIP	EQUIPMENT	RCP	REINFORCED CONCRETE PIPE
EXIST	EXISTING	R/W	RIGHT OF WAY
FF	FINISH FLOOR	REQ'D	REQUIRED
FIN	FINISHED	S/W	SIDEWALK
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FT	FEET	T	TELEPHONE
FW	FIRE WATER	TE	TOP ELEVATION
G	NATURAL GAS	TW	TOP OF WALL ELEVATION
GI	GRATE INLET	TYP	TYPICAL
G.C.	GROUND COVER	UND	UNDER DRAIN
GV	GATE VALVE	UNO	UNLESS NOTED OTHERWISE
GM	GAS METER	VC	VERTICAL CURVE
HW	HEADWALL	W	DOMESTIC WATER
ID	INSIDE DIAMETER	W/	WITH
IE	INVERT ELEVATION		



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DRAWING TITLE LEGEND, ABBREVIATIONS, & GENERAL NOTES

DRAWN BY FCL	CHECKED BY FCL
DRAWING DATE XX/XX/XX	DRAWING NUMBER C-001
PROJECT NUMBER 20-29	2 OF 8

NOT ISSUED FOR CONSTRUCTION

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN

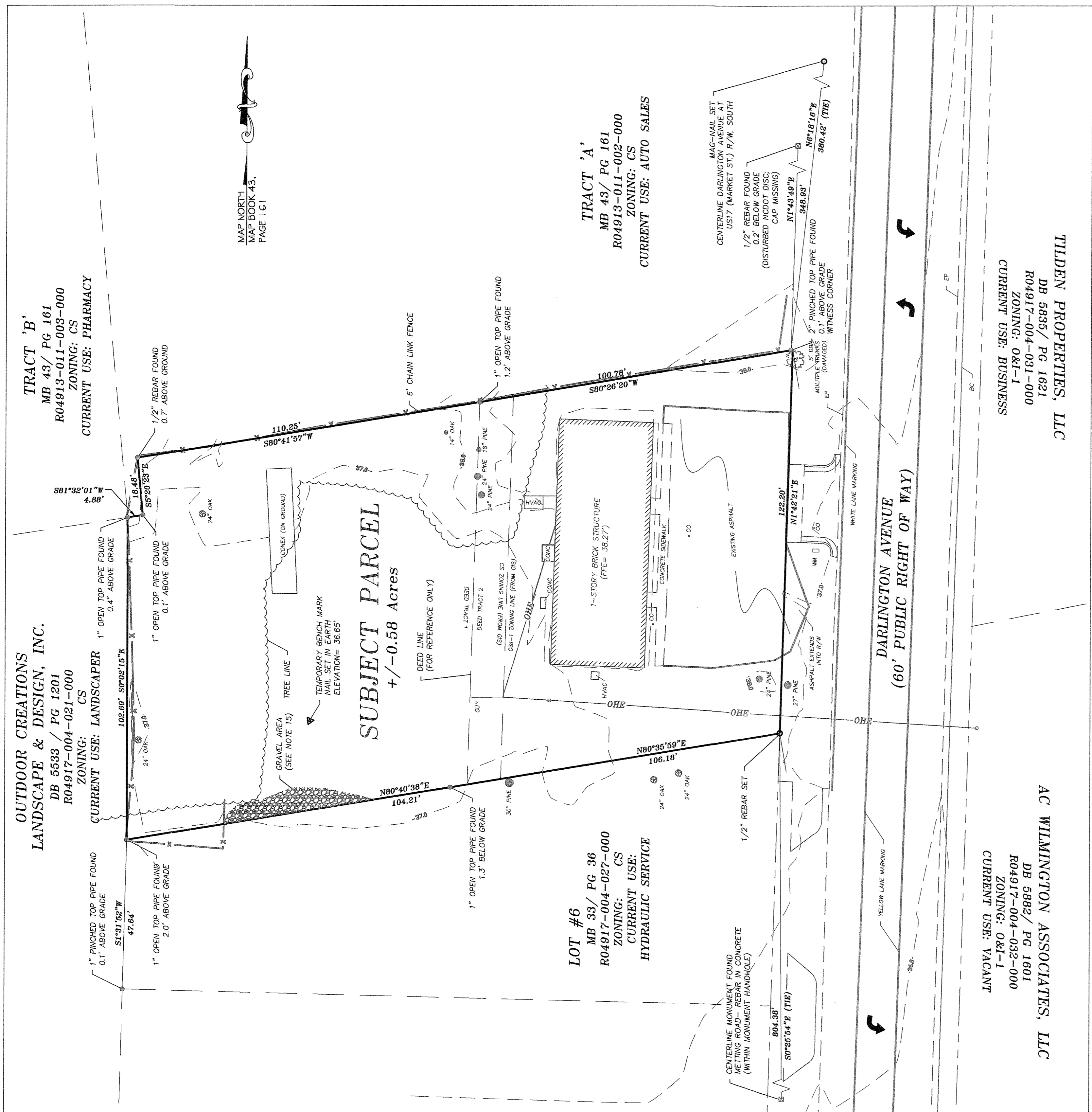
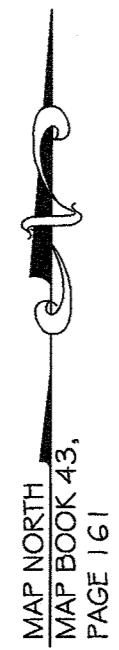
Date: _____ Permit # _____
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APPROVED CONSTRUCTION PLAN
 NAME _____ DATE _____

PLANNING _____
 TRAFFIC _____
 FIRE _____

**PRELIMINARY PLAN
 ISSUED FOR AGENCY REVIEW**

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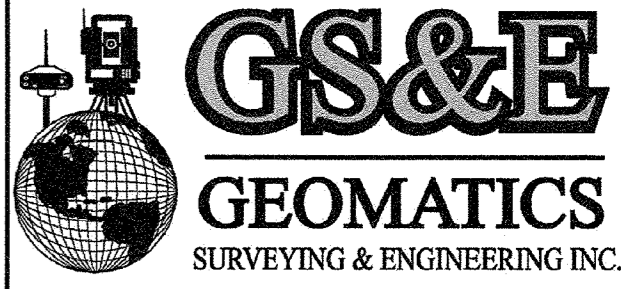


1 **2** **3** **4** **5** **6** **7** **8** **9** **10** **11** **12** **13** **14** **15**

A **B** **C** **D** **E** **F** **G** **H** **I** **J** **K**

LEGEND AND ABBREVIATIONS:

- MONUMENT FOUND (CONC OR STONE) [Symbol]
- MONUMENT FOUND (IRON MATERIAL) [Symbol]
- MONUMENT SET (1/2" IRON REBAR) [Symbol]
- SUBJECT BOUNDARY-SURVEYED [Symbol]
- LINE SURVEYED [Symbol]
- R/W- RIGHT OF WAY [Symbol]
- PROPERTY LINE NOT SURVEYED [Symbol]
- EASEMENT (AS NOTED) [Symbol]
- WALL OF STRUCTURE [Symbol]
- EDGE OF PAVEMENT [Symbol]
- EXISTING DITCH LINE [Symbol]
- OHE- OVERHEAD ELECTRIC AND POWER POLE [Symbol]
- EXISTING TOPOGRAPHY [Symbol]
- MB- MAP BOOK [Symbol]
- DB- DEED BOOK [Symbol]
- PG- PAGE [Symbol]
- NTS- NOT TO SCALE [Symbol]
- CONC- CONCRETE [Symbol]
- SSMH- SANITARY SEWER MANHOLE [Symbol]
- CO- CLEAN OUT [Symbol]
- WM- WATER METER [Symbol]
- WV- WATER VALVE [Symbol]
- FH- FIRE HYDRANT [Symbol]
- BFP- BACKFLOW PREVENTER [Symbol]
- IRV- IRRIGATION VALVE [Symbol]
- CTV- CABLE TELEVISION [Symbol]
- TEL- TELEPHONE PEDESTAL [Symbol]
- TRANS- ELECTRICAL TRANSFORMER [Symbol]
- UC- UNDERGROUND CABLE [Symbol]
- GUY- GUY WIRE & ANCHOR [Symbol]
- PKG- IMPROVED PARKING AREA [Symbol]
- SF- SQUARE FEET [Symbol]
- ESMT- EASEMENT [Symbol]
- EP- EDGE OF PAVEMENT [Symbol]
- BC- BACK OF CURB [Symbol]



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PROFESSIONAL FIRM# C-3796

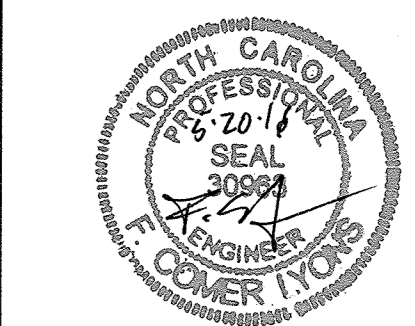
**44 DARLINGTON AVE
STORAGE ADDITION**

**WILMINGTON
NORTH CAROLINA**

PREPARED FOR:
ZEME, LLC
44 DARLINGTON AVE
WILMINGTON, NC
28403

REVISIONS

NO.	DATE	OTS	DESCRIPTION

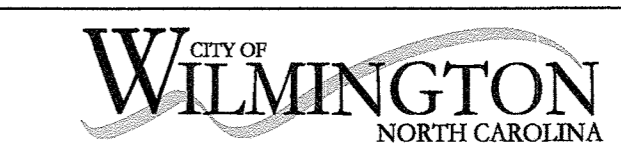


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**PRELIMINARY PLAN
ISSUED FOR AGENCY REVIEW**



Date: _____ Permit # _____
Signed: _____

APPROVED CONSTRUCTION PLAN

PLANNING _____ NAME _____ DATE _____
TRAFFIC _____
FIRE _____

SCALE: 1" = 20'

FOR EACH OPEN UTILITY CUT OF CITY STREETS, A \$325 PERMIT SHALL BE REQUIRED FROM THE CITY PRIOR TO OCCUPANCY AND/ OR PROJECT ACCEPTANCE.

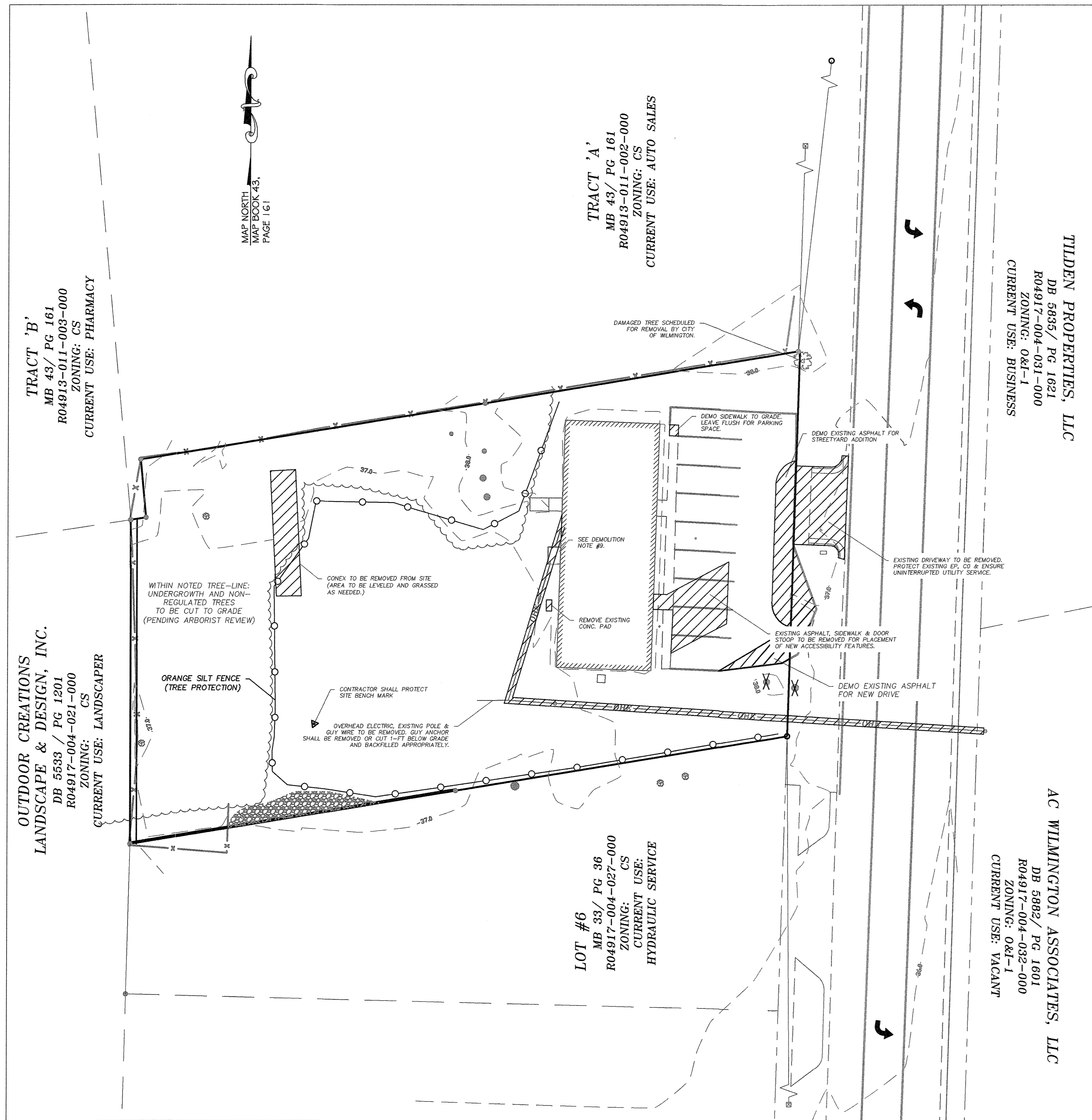
- EXISTING CONDITION NOTES:**
- THIS EXISTING CONDITIONS PLAN IS BASED ON THE SITE SURVEY FOR ZEME, LLC AS ISSUED BY GS&E, INC. ON MARCH 14, 2016.
 - THERE ARE NO KNOWN STATE WATERS OR WETLANDS WITHIN THE PROJECT AREA.
 - THE ZONING BOUNDARY EVIDENT ON THE SUBJECT SITE WAS TAKEN FROM THE CITY'S GIS WEBSITE AND IS APPROXIMATE.

PRELIMINARY

**DRAWING TITLE
EXISTING CONDITIONS**

DRAWN BY FCL	CHECKED BY FCL
DRAWING DATE XX/XX/XX	DRAWING NUMBER C-101
PROJECT NUMBER 20-29	3 OF 8

NOT ISSUED FOR CONSTRUCTION



DEMOLITION NOTES:

- ALL DEMOLITION CUTS SHALL BE CLEAN SAW CUTS TO A DEPTH SUFFICIENT TO PROHIBIT DAMAGE TO REMAINING SURFACES AND MATERIALS.
- CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ENGINEER PRIOR TO PROCEEDING.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING AND/OR REPAIRING ANY DAMAGE TO EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO: EXISTING LANDSCAPE, IRRIGATION, UTILITIES AND/OR HARDSCAPE, BEYOND THAT SHOWN ON THE DEMOLITION PLAN, AND AS REQUIRED TO COMPLETE THE WORK WITHIN THIS CONTRACT.
- CONTRACTOR SHALL PLACE ALL NEW WORK IN ACCORDANCE WITH PLAN AND LOCAL, STATE & FEDERAL CODE.
- POSITIVE DRAINAGE SHALL BE MAINTAINED BY CONTRACTOR AT ALL TIMES DURING CONSTRUCTION. AT PROJECT CLOSEOUT, POSITIVE DRAINAGE MUST BE PROVIDED FROM ALL SURFACES. FLOW TO ADJACENT LOTS (ESPECIALLY CONCENTRATED FLOW), OTHER THAN SHOWN OR EXISTING PRIOR TO CONSTRUCTION, IS NOT ACCEPTABLE AND CORRECTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR REMOVAL OF DEMOLISHED MATERIAL, CONSTRUCTION DEBRIS AND WASTE MATERIAL.
- WHERE DEMOLITION IS INDICATED OUTSIDE OF SUBJECT TRACT, CONTRACTOR SHALL COORDINATE WITH OWNER ON EXTENT AND NATURE OF ACTIVITY. GS&E, INC. IS ONLY SHOWING DEMOLITION IN THESE AREAS FOR PURPOSES OF ILLUSTRATING A COMPREHENSIVE DEMOLITION ACTIVITY AND CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR THIS WORK.
- EXISTING PARKING LINES ARE FADED, WHERE NECESSARY TO PROVIDE CLEAR DRIVER GUIDANCE IN NEWLY CONFIGURED PARKING AREA, CONTRACTOR SHALL ERADICATE EXISTING LINES.
- CONTRACTOR SHALL EVALUATE EXISTING CONCRETE STOOP, IF ACCEPTABLE FOR INCLUSION IN NEW CONCRETE SLAB, CONTRACTOR SHALL CLEAN AND PREPARE FOR PROPER BOND AND INCLUSION WITH NEW SLAB, IF DEEMED UNACCEPTABLE FOR INCLUSION, CONTRACTOR SHALL SAW CUT CLEAN AND REMOVE FOR PLACEMENT OF NEW SLAB (SEE STRUCTURAL DRAWINGS FOR SLAB DETAILS).
- CONTRACTOR SHALL REMOVE SILT FENCE/ TREE PROTECTION UPON SITE STABILIZATION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY.

TREES TO BE REMOVED:

SYMBOL	COMMON NAME	SIZE	QUANTITY
X	PINE	24"	2

TREE REMOVAL NOTES:

- TREE PROTECTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- TREES MARKED FOR REMOVAL SHALL BE REMOVED COMPLETELY, INCLUDING ROOT-WAD. AREAS WHERE TREES HAVE BEEN REMOVED SHALL BE BROUGHT TO NATURAL GRADE WITH STRUCTURAL BACKFILL PLACED IN 6" LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY.

PRELIMINARY



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910-742-3860
PROFESSIONAL FIRM# C-3796

44 DARLINGTON AVE STORAGE ADDITION

WILMINGTON NORTH CAROLINA

PREPARED FOR:
ZEME, LLC
44 DARLINGTON AVE
WILMINGTON, NC 28403

REVISIONS

NO.	DATE	OTS	DESCRIPTION



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**PRELIMINARY PLAN
ISSUED FOR AGENCY REVIEW**



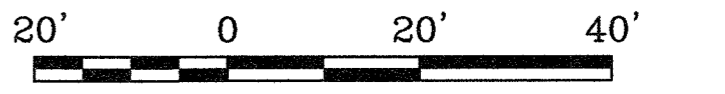
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

FOR EACH OPEN UTILITY CUT OF CITY STREETS, A \$325 PERMIT SHALL BE REQUIRED FROM THE CITY PRIOR TO OCCUPANCY AND/OR PROJECT ACCEPTANCE.

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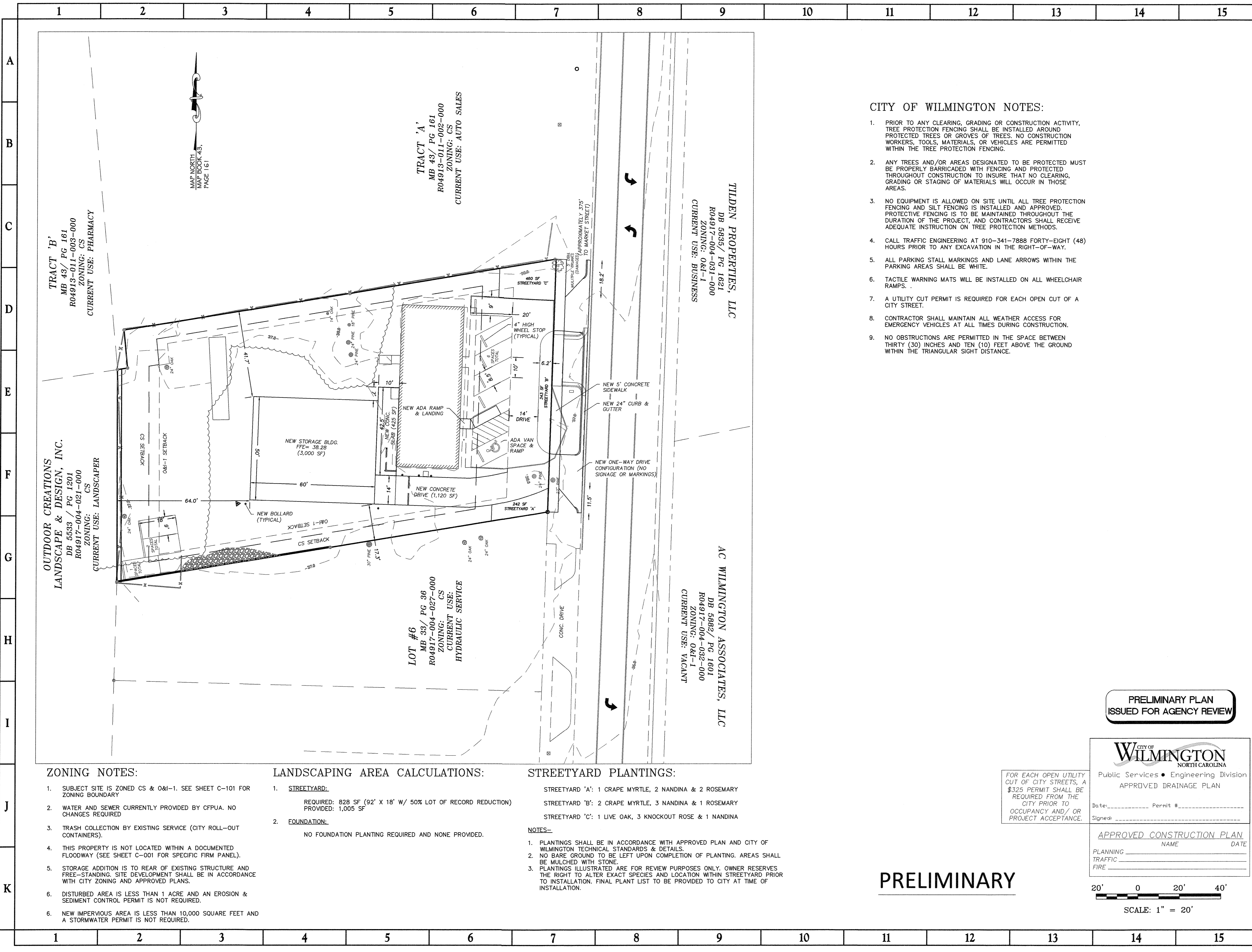
SCALE: 1" = 20'

**DRAWING TITLE
DEMOLITION &
TREE REMOVAL
PLAN**

DRAWN BY FCL	CHECKED BY FCL
DRAWING DATE XX/XX/XX	DRAWING NUMBER C-102
PROJECT NUMBER 20-29	4 OF 8

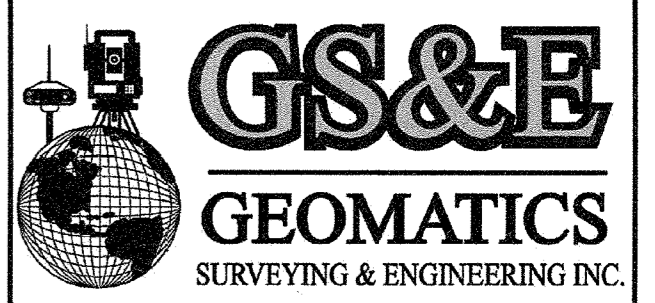
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CITY OF WILMINGTON NOTES:

- 1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
2. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
4. CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
5. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
6. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
7. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
8. CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
9. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.



POST OFFICE BOX 16110
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910 · 742 · 3860
PROFESSIONAL FIRM# C-3796

44 DARLINGTON AVE STORAGE ADDITION

WILMINGTON NORTH CAROLINA

PREPARED FOR:
ZEME, LLC
44 DARLINGTON AVE
WILMINGTON, NC
28403

REVISIONS

Table with columns: NO., DATE, QTS, DESCRIPTION



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Scales, as stated hereon, are valid on the original drawing; the dimensions of which are 24 by 36 inches. These scales, noted hereon, are hereby changed by the ratio of the overall sheet dimensions of the print to corresponding dimensions of the original drawing.

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PRELIMINARY PLAN
ISSUED FOR AGENCY REVIEW

CITY OF WILMINGTON NORTH CAROLINA Public Services • Engineering Division APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____
APPROVED CONSTRUCTION PLAN
NAME DATE
PLANNING _____
TRAFFIC _____
FIRE _____

FOR EACH OPEN UTILITY CUT OF CITY STREETS, A \$325 PERMIT SHALL BE REQUIRED FROM THE CITY PRIOR TO OCCUPANCY AND/OR PROJECT ACCEPTANCE.

ZONING NOTES:

- 1. SUBJECT SITE IS ZONED CS & O&I-1. SEE SHEET C-101 FOR ZONING BOUNDARY
2. WATER AND SEWER CURRENTLY PROVIDED BY CFPUA. NO CHANGES REQUIRED
3. TRASH COLLECTION BY EXISTING SERVICE (CITY ROLL-OUT CONTAINERS).
4. THIS PROPERTY IS NOT LOCATED WITHIN A DOCUMENTED FLOODWAY (SEE SHEET C-001 FOR SPECIFIC FIRM PANEL).
5. STORAGE ADDITION IS TO REAR OF EXISTING STRUCTURE AND FREE-STANDING. SITE DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY ZONING AND APPROVED PLANS.
6. DISTURBED AREA IS LESS THAN 1 ACRE AND AN EROSION & SEDIMENT CONTROL PERMIT IS NOT REQUIRED.
6. NEW IMPERVIOUS AREA IS LESS THAN 10,000 SQUARE FEET AND A STORMWATER PERMIT IS NOT REQUIRED.

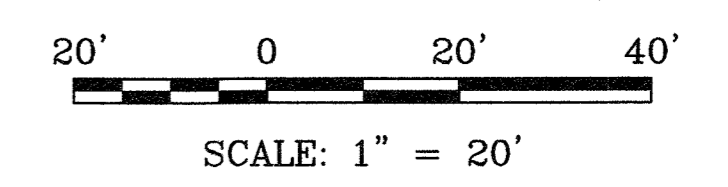
LANDSCAPING AREA CALCULATIONS:

- 1. STREETYARD:
REQUIRED: 828 SF (92' X 18' W/ 50% LOT OF RECORD REDUCTION)
PROVIDED: 1,005 SF
2. FOUNDATION:
NO FOUNDATION PLANTING REQUIRED AND NONE PROVIDED.

STREETYARD PLANTINGS:

- STREETYARD 'A': 1 CRAPE MYRTLE, 2 NANDINA & 2 ROSEMARY
STREETYARD 'B': 2 CRAPE MYRTLE, 3 NANDINA & 1 ROSEMARY
STREETYARD 'C': 1 LIVE OAK, 3 KNOCKOUT ROSE & 1 NANDINA
NOTES-
1. PLANTINGS SHALL BE IN ACCORDANCE WITH APPROVED PLAN AND CITY OF WILMINGTON TECHNICAL STANDARDS & DETAILS.
2. NO BARE GROUND TO BE LEFT UPON COMPLETION OF PLANTING. AREAS SHALL BE MULCHED WITH STONE.
3. PLANTINGS ILLUSTRATED ARE FOR REVIEW PURPOSES ONLY. OWNER RESERVES THE RIGHT TO ALTER EXACT SPECIES AND LOCATION WITHIN STREETYARD PRIOR TO INSTALLATION. FINAL PLANT LIST TO BE PROVIDED TO CITY AT TIME OF INSTALLATION.

PRELIMINARY



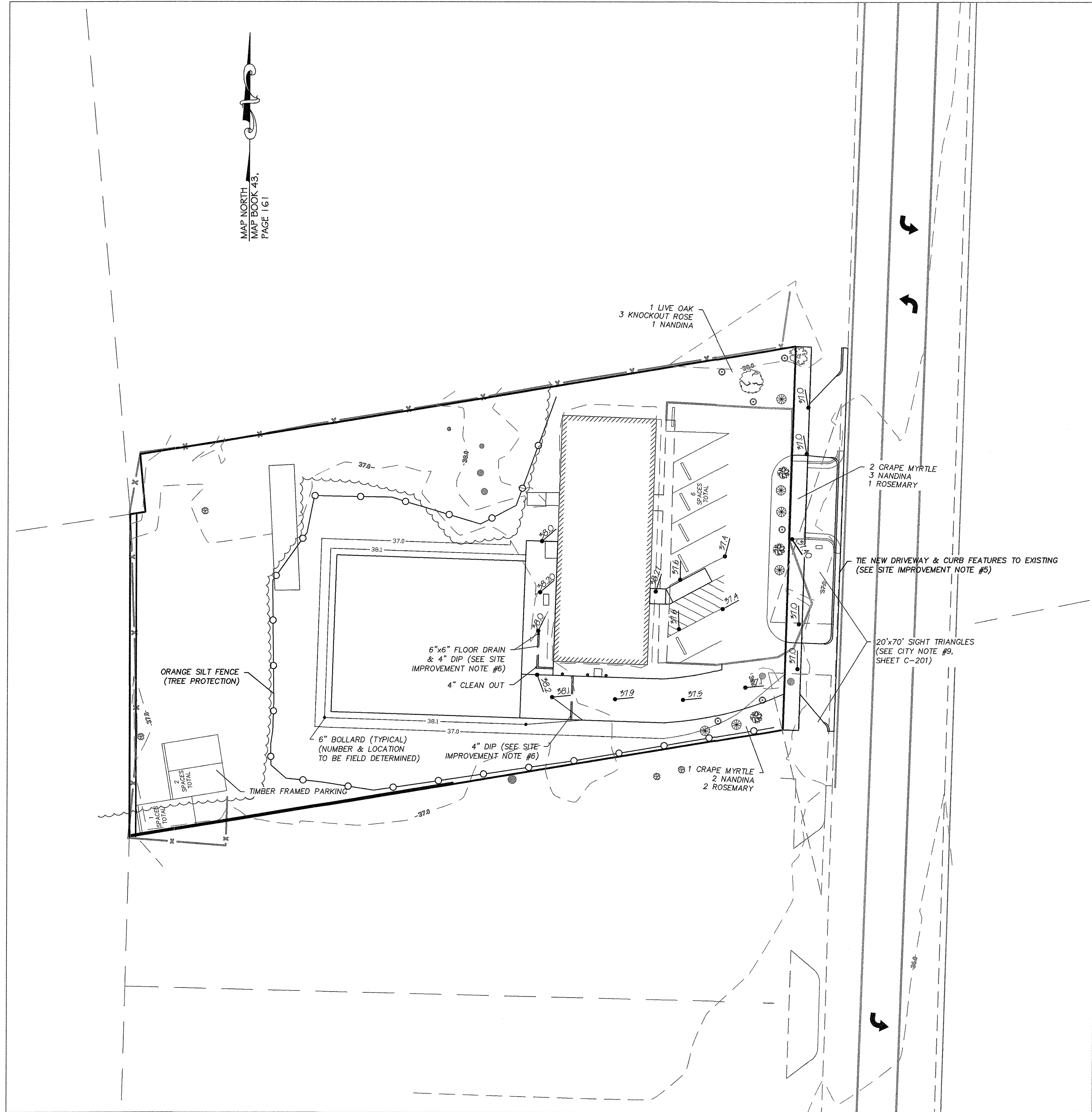
DRAWING TITLE
ZONING COMPLIANCE & SITE IMPROVEMENTS PLAN

Table with columns: DRAWN BY (FCL), CHECKED BY (FCL), DRAWING DATE (XX/XX/XX), DRAWING NUMBER (C-201), PROJECT NUMBER (20-29), 5 OF 8

NOT ISSUED FOR CONSTRUCTION

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A
B
C
D
E
F
G
H
I
J
K



GRADING NOTES:

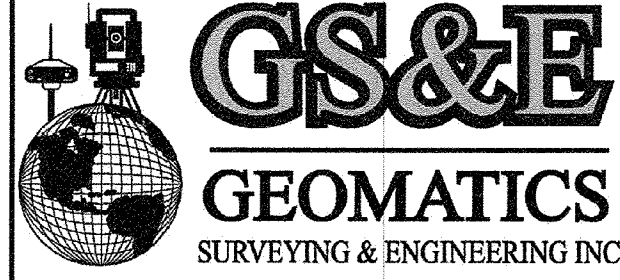
- CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND REPORT ANY DISCREPANCIES TO ENGINEER.
- ALL NEW SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADES. THE CONTRACTOR MUST MAKE ALLOWANCES FOR THICKNESS OF SOD, PAVING SECTIONS, CONCRETE SLABS, RAMP, ETC. WHERE APPLICABLE.
- ALL NEW SPOT ELEVATIONS ARE TO TOP OF PAVEMENT. AT CURB SECTIONS, TOP OF CURB SHOULD BE IN ACCORDANCE WITH CITY STANDARD DETAILS. FLOW LINE OF CURB SHALL BE SET TO "SPILL" OR "CATCH" CONSISTENT WITH EXISTING ROADWAY AND FLOW LINE OF GUTTER SHALL PROMOTE POSITIVE DRAINAGE.
- CONTRACTOR SHALL ASSURE THE ENTIRE SITE WITHIN THE LIMITS OF CONSTRUCTION IS GRADED TO DRAIN FREELY. ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF CONSTRUCTED AREA, SHALL BE FINE GRADED TO ESTABLISH POSITIVE DRAINAGE AND SEEDED OR SODDED IN ACCORDANCE WITH OWNER'S GUIDANCE.
- NO SLOPES SHALL BE GRADED STEEPER THAN 3:1, UNLESS SPECIFICALLY INDICATED OTHERWISE.

COMPACTION REQUIREMENTS:

- BUILDING FOUNDATION.**
ALL VEGETATIVE MATTER SHALL BE STRIPPED AND REMOVED WITHIN A PERIMETER 5- FEET WIDER THAN NEW CONSTRUCTION FOOTPRINT (MINIMUM 6-INCHES BELOW EXISTING GRADE).
STRUCTURAL BACKFILL SHALL BE PLACED IN NO GREATER THAN 6" LIFTS AND COMPACTED TO 95% MAX DRY DENSITY (MODIFIED PROCTOR).
CONTRACTOR SHALL PROTECT EXISTING STRUCTURES. NON-VIBRATORY COMPACTION SHALL BE USED AND FILL PLACED IN LESS THAN 4" LIFTS WHEN WORKING WITHIN 10- FEET OF ADJACENT STRUCTURES.
FILL SHALL BE PLACED TO AN ELEVATION THAT FACILITATES EARTHEN FORMING FOR PROPOSED FOUNDATION.
CONTRACTOR SHALL CROSS-REFERENCE STRUCTURAL ENGINEERING PLANS AND MORE RESTRICTIVE/ STRINGENT FOUNDATION REQUIREMENTS SHALL GOVERN.
IF UNSUITABLE MATERIAL IS ENCOUNTERED, CONTRACTOR SHALL ENGAGE GEOTECHNICAL PROFESSIONAL AND REPAIR AREA IN ACCORDANCE WITH DOCUMENTED DIRECTION.
- ASPHALTIC & CONCRETE PAVING, SLABS & WALKS**
ALL VEGETATIVE MATTER SHALL BE STRIPPED AND REMOVED WITHIN A PERIMETER 1- FOOT WIDER THAN NEW CONSTRUCTION FOOTPRINT (MINIMUM 6-INCHES BELOW EXISTING GRADE).
EXPOSED SUBGRADE SHALL REMAIN UNDISTURBED AND NOT RUT OR PUMP WHEN SUBJECTED TO EXPECTED LOADS.
WHERE UNSUITABLE SUBGRADE MATERIAL IS ENCOUNTERED, CONTRACTOR SHALL CUT A MINIMUM OF 24- INCHES BELOW SUBGRADE AND REPLACE WITH SUITABLE STRUCTURAL FILL IN 6- INCH LIFTS WITH VIBRATORY COMPACTION TO 100% MAXIMUM DRY DENSITY.
CONTRACTOR SHALL PROTECT EXISTING STRUCTURES. NON-VIBRATORY COMPACTION SHALL BE USED AND FILL PLACED IN LESS THAN 4" LIFTS WHEN WORKING WITHIN 10- FEET OF ADJACENT STRUCTURES.

SITE IMPROVEMENT NOTES:

- CONTRACTOR SHALL PROTECT EXISTING FOUNDATION AND STRUCTURES DURING CONSTRUCTION AND PROVIDE SITE ACCESS DURING CONSTRUCTION.
- CONCRETE PLACEMENT SHALL BE IN ACCORDANCE WITH ACI 318-11 UNLESS SPECIFICALLY DIRECTED OTHERWISE BY STRUCTURAL ENGINEER.
- ALL CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS SPECIFICALLY STATED OTHERWISE BY STRUCTURAL ENGINEER.
- WHERE NEW CONSTRUCTED SURFACES IMMEDIATELY ABUT EXISTING, CONTRACTOR SHALL SAW CUT A CLEAN, SMOOTH FACE ALONG EXISTING SURFACE PRIOR TO INSTALLING NEW WORK. PROPER EXPANSION JOINT MATERIAL SHALL BE PLACED AT INTERFACE OF NEW AND OLD MATERIAL.
- ALONG DARLINGTON AVENUE, USE OF THE EXISTING EDGE OF PAVEMENT FOR A FORM IS ACCEPTABLE IF THE ROAD IS STRAIGHT AND IN ACCEPTABLE CONDITION. IF THIS EDGE IS NON-UNIFORM OR CRACKING/ SPALLING, CONTRACTOR SHALL SAW-CUT AND REMOVE A MINIMUM OF 1-FOOT OF THE ROADWAY ALONG THE WORK ZONE. ONCE NEW CURB AND DRIVES ARE PLACED, CONTRACTOR SHALL PLACE APPROPRIATE CITY ROAD SECTION IN ACCORDANCE WITH CITY STANDARDS.
- DUCTILE IRON PIPE SHALL BE PLACED BELOW THE SLAB AND BEDDED IN WASHED #57 STONE. PIPE SHALL HAVE WATER TIGHT JOINTS AND BE LAID TO ENSURE POSITIVE DRAINAGE AWAY FROM SLABS AND BUILDINGS. INLETS AND MAINTENANCE FEATURES SHALL BE OF DURABLE METAL, INSTALLED PER MANUFACTURER'S REQUIREMENTS, AND SET FLUSH IN CONCRETE WITH AN INTERIOR FINISH.
- EARTHEN PAD AND SLOPE IMMEDIATELY ADJACENT TO STORAGE ADDITION SHALL BE SODDED TO PROTECT FOUNDATION FROM STORMWATER RUNOFF AND EROSION.
- ROOF DRAINS SHALL BE PLACED TO PROTECT BUILDING FOUNDATIONS. PREFERABLY, DOWNSPOUTS SHALL BE DIRECTED TO NEW CONCRETE DRIVEWAY TO FACILITATE DRAINAGE TO DARLINGTON AVENUE.
- ALL AREAS DISTURBED BY CONSTRUCTION AND NOT PERMANENTLY COVERED SHALL BE GRASSED AND MULCHED PER OWNER'S DIRECTION.



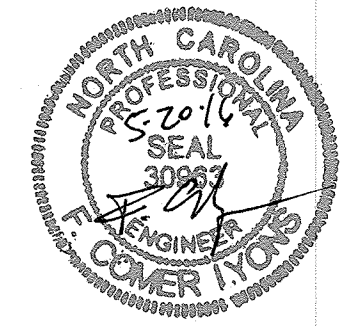
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WILMINGTON, NC 28409
910 - 742 - 3860
PROFESSIONAL FIRM# C-3796

**44 DARLINGTON AVE
STORAGE ADDITION**

**WILMINGTON
NORTH CAROLINA**

PREPARED FOR:
ZEME, LLC
44 DARLINGTON AVE
WILMINGTON, NC
28403

REVISIONS			
NO.	DATE	QTS	DESCRIPTION



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**DRAWING TITLE
GRADING, DRAINAGE
& PLANTING
PLAN**

DRAWN BY
FCL
CHECKED BY
FCL

DRAWING DATE
XX/XX/XX
DRAWING NUMBER
C-241

PROJECT NUMBER
20-29
6 OF 8

STREETYARD PLANTINGS:

SYMBOL	COMMON NAME	QUANTITY
	LIVE OAK	1
	GRAPE MYRTLE	3
	NANDINA	6
	ROSEMARY OR KNOCKOUT ROSE	6

FOR EACH OPEN UTILITY CUT OF CITY STREETS, A \$325 PERMIT SHALL BE REQUIRED FROM THE CITY PRIOR TO OCCUPANCY AND/ OR PROJECT ACCEPTANCE.

CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

APPROVED CONSTRUCTION PLAN

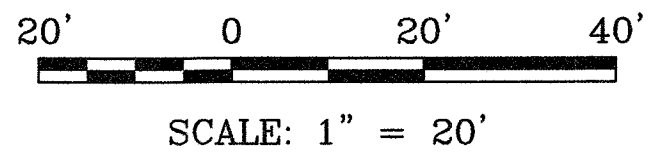
NAME _____ DATE _____

PLANNING _____

TRAFFIC _____

FIRE _____

**PRELIMINARY PLAN
ISSUED FOR AGENCY REVIEW**



E:\Gsmat\01-20-New Hanover\29 44 Darlington\CAD\20-29_civil-master.dwg

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

NOT ISSUED FOR CONSTRUCTION

STANDARD DETAIL
SIDEWALK

DATE: OCTOBER, 2010
DRAWN: FB/SR
CHECKED: DEC
SCALE: NOT TO SCALE

WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 3-10

NOTES:

1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APPROX) SHALL BE CLASS "A" - 3,000 PSI.
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 3' X 5' PANEL.
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD DETAIL
CURBING

DATE: AUGUST, 2011
DRAWN: FB/SR
CHECKED: DEC
SCALE: NOT TO SCALE

WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 3-11

NOTES:

1. EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
2. 30" MAX EXPANSION JOINT SPACING, 10" MAX CONTRACTION JOINT SPACING
3. MINIMUM INSTALLATION LENGTH IS 5 FT.
4. CONCRETE TO BE 3000 PSI MIN
5. VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE.

STANDARD DETAIL
DRIVEWAY

DATE: 2003
DRAWN BY: RLB
CHECKED BY: JRF
SCALE: NOT TO SCALE

WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 8-21

****OWNER REQUESTS REMOVAL OF SIGNAGE & STRIPING****

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION

DATE: JAN, 2015
DRAWN BY: JSR
CHECKED BY: RDG, P.E.
SCALE: NOT TO SCALE

WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 15-09

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.

NOTES:

1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. CONSTRUCTION SHALL REPAIR DAMAGE TO TREES.
6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION

DATE: JAN, 2015
DRAWN BY: JSR
CHECKED BY: RDG, P.E.
SCALE: NOT TO SCALE

WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 15-09

NOTES:

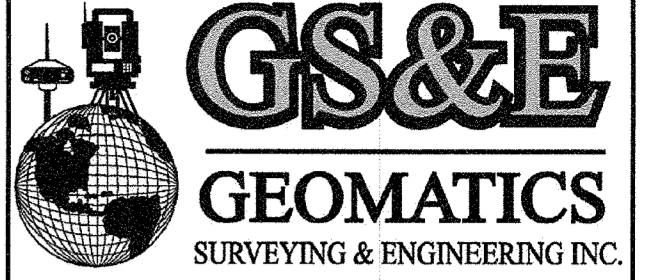
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

STANDARD DETAIL
TYPICAL UNPAVED PARKING FACILITY UNDER 25 STALLS

DATE: 2001
DRAWN BY: JSR/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 15-10



POST OFFICE BOX 16110
WILMINGTON, NC 28409
910-742-3860
PROFESSIONAL FIRM# C-3796

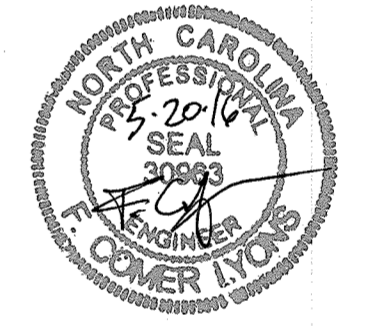
44 DARLINGTON AVE STORAGE ADDITION

WILMINGTON NORTH CAROLINA

PREPARED FOR:
ZEME, LLC
44 DARLINGTON AVE
WILMINGTON, NC
28403

REVISIONS

NO.	DATE	OTS	DESCRIPTION



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PRELIMINARY PLAN
ISSUED FOR AGENCY REVIEW



Public Services • Engineering Division
APPROVED DRAINAGE PLAN

APPROVED CONSTRUCTION PLAN
NAME: _____ DATE: _____

PLANNING _____
TRAFFIC _____
FIRE _____

FOR EACH OPEN UTILITY CUT OF CITY STREETS, A \$325 PERMIT SHALL BE REQUIRED FROM THE CITY PRIOR TO OCCUPANCY AND/OR PROJECT ACCEPTANCE.

DRAWING TITLE

STANDARD CITY DETAILS

DRAWN BY FCL	CHECKED BY FCL
DRAWING DATE XX/XX/XX	DRAWING NUMBER D-101
PROJECT NUMBER 20-29	7 OF 8

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REVISIONS

NO.	DATE	QTS	DESCRIPTION



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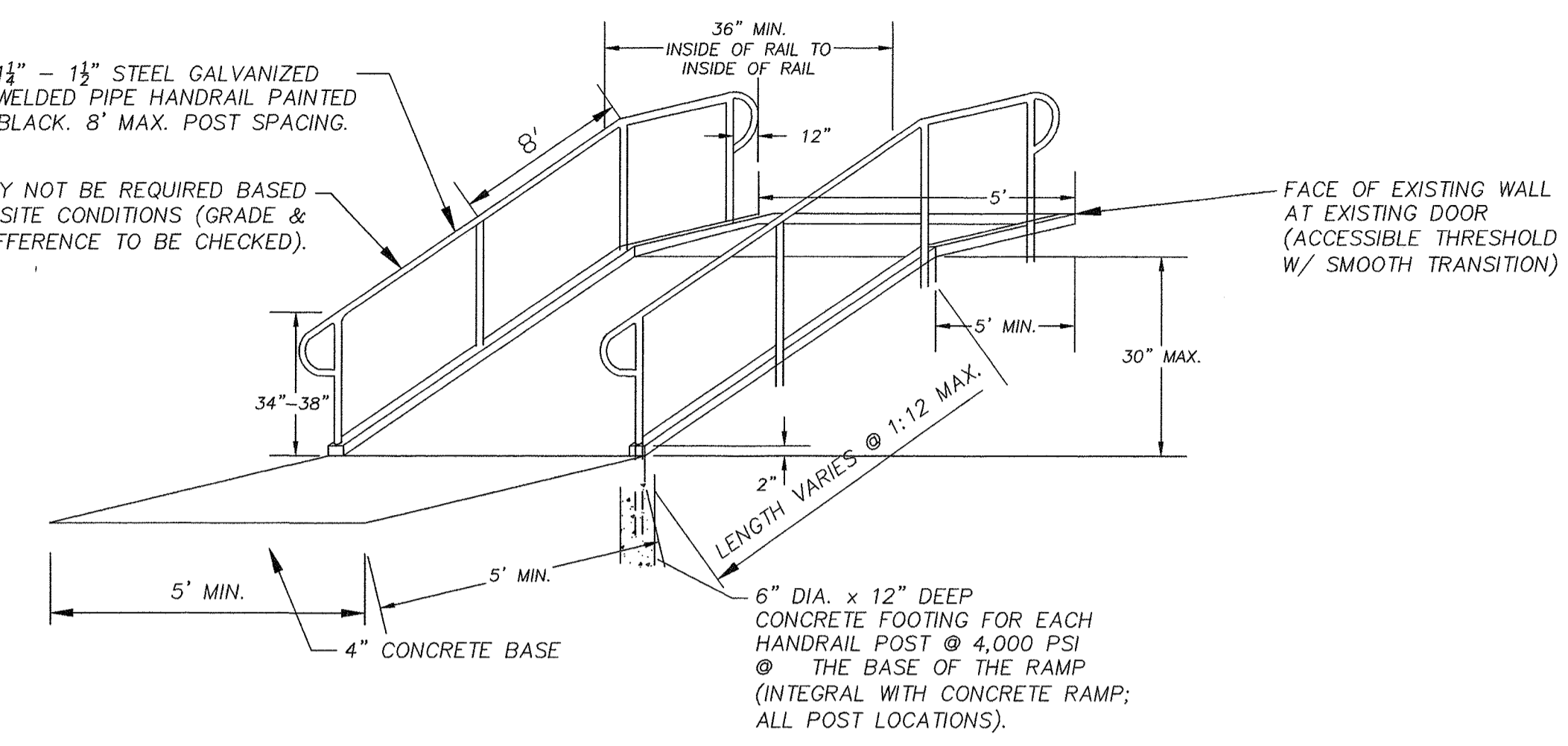
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DRAWING TITLE

**CIVIL / SITE
 DETAILS**

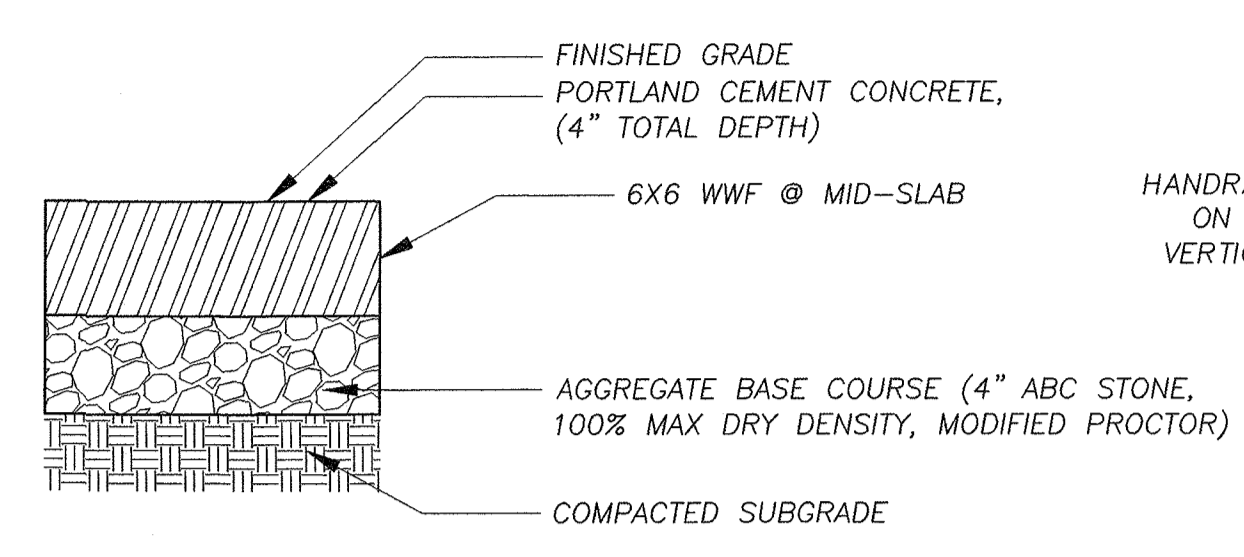
DRAWN BY FCL	CHECKED BY FCL
DRAWING DATE XX/XX/XX	DRAWING NUMBER D-102
PROJECT NUMBER 20-29	8 OF 8

NOT ISSUED FOR CONSTRUCTION

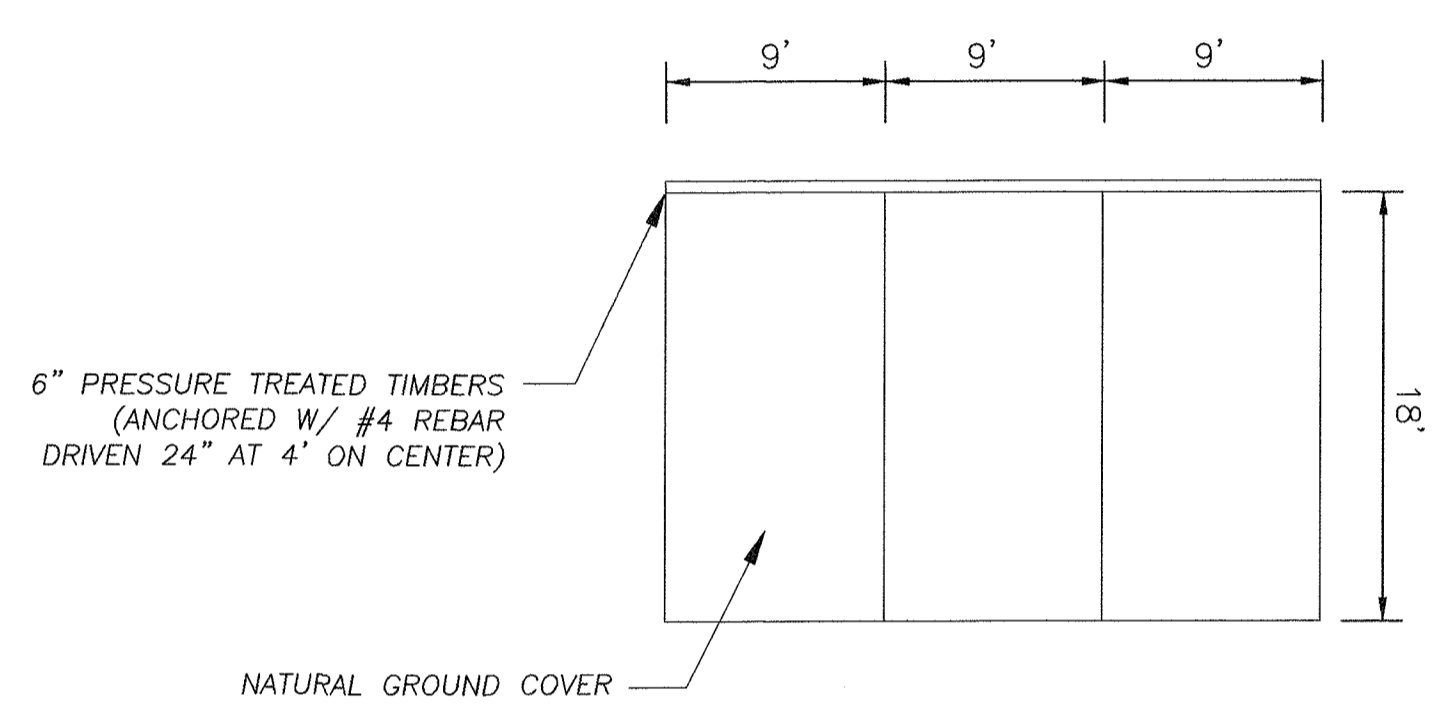


3 ADA ENTRANCE RAMP
D-102 NOT TO SCALE

- NOTES:
1. MINIMUM THICKNESS OF CONCRETE SHALL BE 4", 4,000 PSI.
 2. ALIGNMENT OF RAMP AND PLAN DIMENSIONS SHALL MATCH ENGINEERED SITE PLAN.
 3. RAMP SHALL HAVE A 5'x5' LANDING PAD (MINIMUM) AT THE TOP AND BOTTOM.
 4. RAMP SHALL MEET ACCESSIBILITY STANDARDS FROM ADJACENT VAN ACCESSIBLE PARKING SPACE TO ENTRANCE OF EXISTING BUILDING.
 5. DETECTABLE WARNING SURFACE SHALL BE PLACED AT BOTTOM OF RAMP (SEE ADA GUIDELINES FOR SIZE, TYPE AND LOCATION).
 6. WHERE FINISHED FIELD CONDITIONS SATISFY ADA GUIDELINES IN ABSENCE OF HANDRAIL, CONTRACTOR MAY EXCLUDE HANDRAIL.

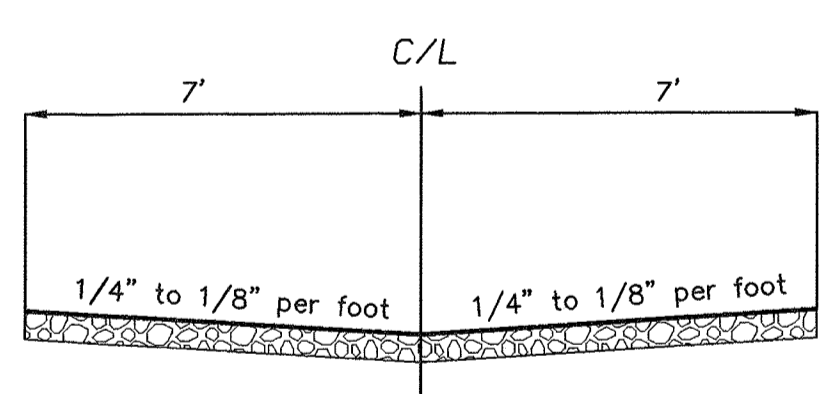


2 CONCRETE PAVEMENT
D-102 NOT TO SCALE

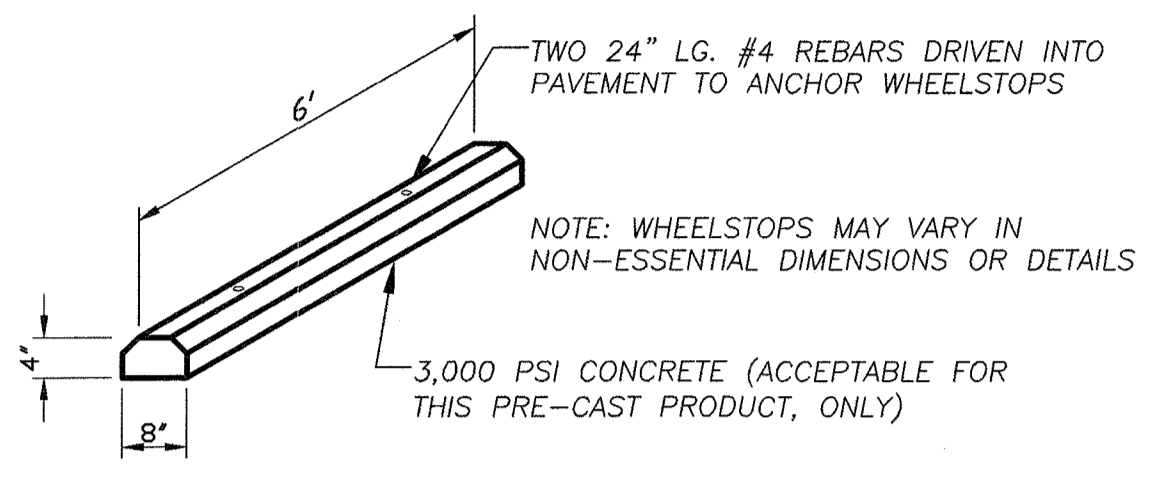


5 TIMBER FRAMED PARKING
D-102 NOT TO SCALE

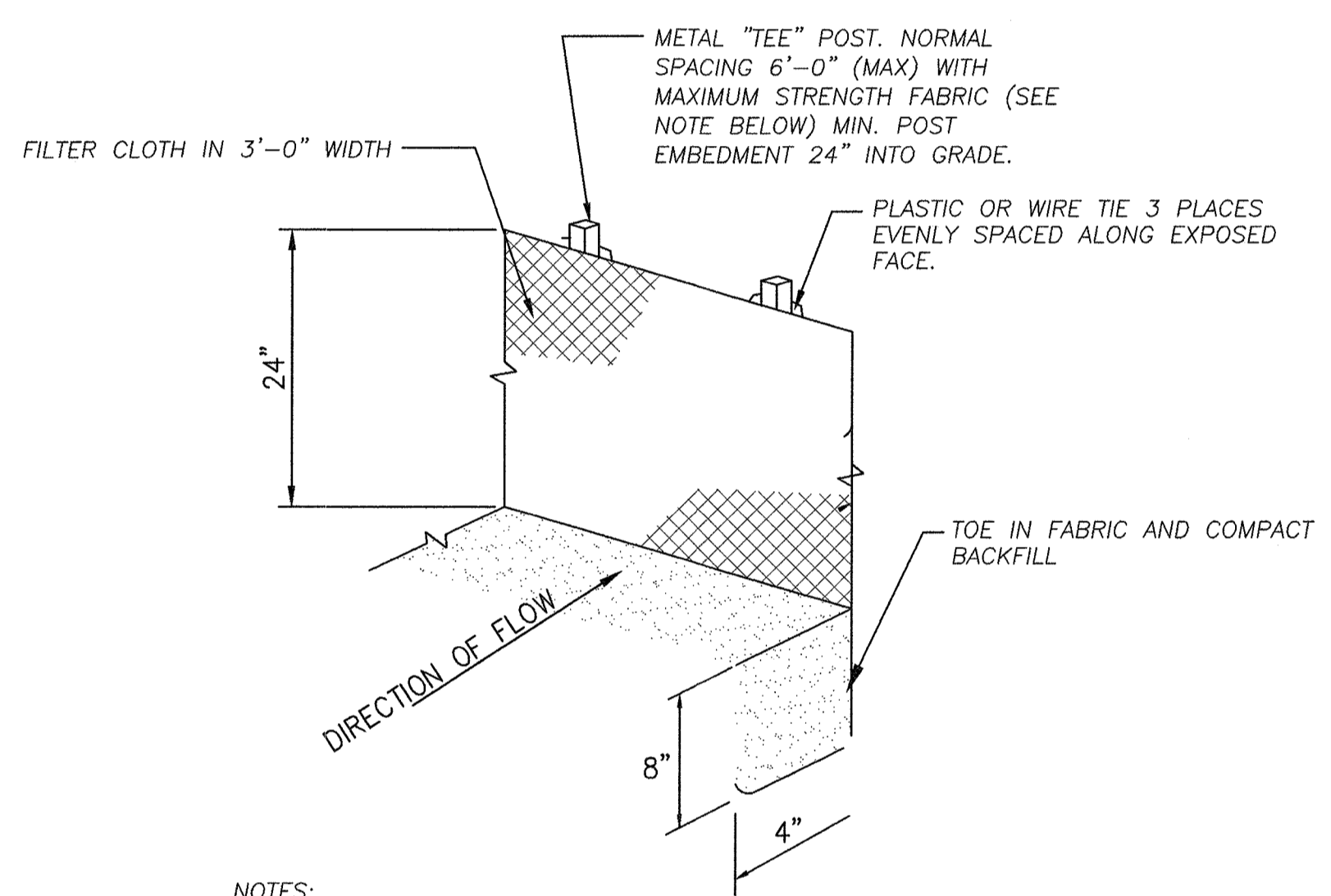
- NOTES:
1. 4" STONE BEDDING SHALL BE UNDERLAID WITH WEED INHIBITING CLOTH.



6 DRIVEWAY CROSS SECTION
D-102 NOT TO SCALE



1 PRE-CAST CONCRETE WHEEL STOP
D-102 NOT TO SCALE



- NOTES:
1. CONTRACTOR MAY USE 10x10 WIRE-REINFORCED SILT FENCE WITH METAL POST. IF SO, SPACING BETWEEN METAL POSTS MAY BE INCREASED TO 8-FEET WITH STANDARD STRENGTH FABRIC.

4 SILT FENCE
D-102 NOT TO SCALE